

General Information

Parcel Number 89-18-16-120-142.000-030
Local Parcel Number 50-16-120-142.000-29
Tax ID: 029-18884-00
Routing Number 5016120-041
Property Class 510
1 Family Dwell - Platted Lot

Ownership

BARCENAS, JOHANA
1440 IRISH HILLS CT
RICHMOND, IN 47374

Legal

LOT 24 IRISH HILLS SUB DIV

Transfer of Ownership

Table with columns: Date, Owner, Doc ID, Code, Book/Page, Adj Sale Price, V/I. Rows include transactions from 01/24/2024 to 01/01/1900.

Notes

11/18/2022 Misc: 2023 GENERAL REVAL



Res

Year: 2025

Location Information

County WAYNE
Township WAYNE TOWNSHIP
District 030 (Local 029) RICHMOND CITY -WAYNE TWP
School Corp 8385 RICHMOND COMMUNITY
Neighborhood 295435-029 WAYNE-295435 (029)
Section/Plat 5016120
Location Address (1) 1440 IRISH HILLS CT RICHMOND, IN 47374

Valuation Records (Work In Progress values are not certified values and are subject to change)

Table with columns: Year, Assessment Year, Reason For Change, As Of Date, Valuation Method, Equalization Factor, Notice Required, Land, Land Res (1), Land Non Res (2), Land Non Res (3), Improvement, Imp Res (1), Imp Non Res (2), Imp Non Res (3), Total, Total Res (1), Total Non Res (2), Total Non Res (3).

Land Data (Standard Depth: Res 150', CI 150' Base Lot: Res 100' X 150', CI 100' X 150')

Table with columns: Land Type, Pricing Method, Soil ID, Act Front, Size, Factor, Rate, Adj. Rate, Ext. Value, Infl. %, Market Factor, Cap 1, Cap 2, Cap 3, Value.

Zoning

Subdivision

Lot

Market Model

N/A

Characteristics

Topography Level Flood Hazard
Public Utilities ERA
Streets or Roads TIF
Paved

Neighborhood Life Cycle Stage

Static

Printed Wednesday, April 30, 2025

Review Group 2027

Data Source External Only

Collector 11/08/2022 jh

Appraiser 11/18/2022 Nexus

Land Computations

Table with columns: Description, Value. Rows include Calculated Acreage (0.20), Actual Frontage (61), Developer Discount, Parcel Acreage (0.20), 81 Legal Drain NV (0.00), 82 Public Roads NV (0.00), 83 UT Towers NV (0.00), 9 Homesite (0.00), 91/92 Acres (0.00), Total Acres Farmland (0.20), Farmland Value (\$0), Measured Acreage (0.00), Avg Farmland Value/Acre (0.0), Value of Farmland (\$0), Classified Total (\$0), Farm / Classified Value (\$0), Homesite(s) Value (\$0), 91/92 Value (\$0), Supp. Page Land Value, CAP 1 Value (\$12,000), CAP 2 Value (\$0), CAP 3 Value (\$0), Total Value (\$12,000).

General Information

Occupancy Single-Family
Description Residential Dwelling
Story Height 1
Style N/A
Finished Area 1068 sqft
Make

Floor Finish

- Earth Tile
- Slab Carpet
- Sub & Joist Unfinished
- Wood Other
- Parquet

Wall Finish

- Plaster/Drywall Unfinished
- Paneling Other
- Fiberboard

Roofing

- Built-Up Metal Asphalt Slate Tile
- Wood Shingle Other

Exterior Features

Description	Area	Value
Porch, Open Frame	78	\$5,300
Wood Deck	432	\$7,900

Plumbing

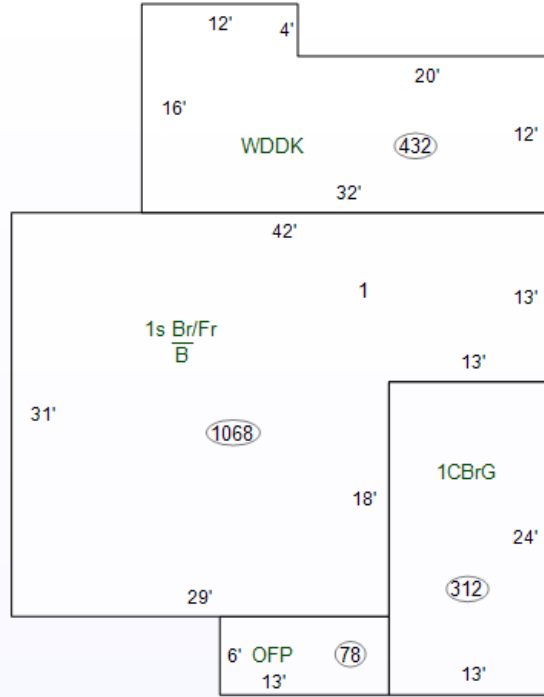
	#	TF
Full Bath	2	6
Half Bath	0	0
Kitchen Sinks	1	1
Water Heaters	1	1
Add Fixtures	0	0
Total	4	8

Accommodations

Bedrooms	3
Living Rooms	1
Dining Rooms	0
Family Rooms	0
Total Rooms	5

Heat Type

Central Warm Air



Description	Count	Value
Specialty Plumbing		

Cost Ladder

Floor Constr	Base	Finish	Value	Totals
1 95	1068	1068	\$119,000	
2				
3				
4				
1/4				
1/2				
3/4				
Attic				
Bsmt	1068	0	\$36,300	
Crawl				
Slab				

Total Base			\$155,300
Adjustments	1 Row Type Adj. x 1.00		\$155,300
Unfin Int (-)			\$0
Ex Liv Units (+)			\$0
Rec Room (+)			\$0
Loft (+)			\$0
Fireplace (+)			\$0
No Heating (-)			\$0
A/C (+)			\$0
No Elec (-)			\$0
Plumbing (+ / -)	8 - 5 = 3 x \$800		\$2,400
Spec Plumb (+)			\$0
Elevator (+)			\$0

Sub-Total, One Unit			\$157,700
Sub-Total, 1 Units			
Exterior Features (+)	\$13,200		\$170,900
Garages (+) 312 sqft	\$15,200		\$186,100
Quality and Design Factor (Grade)		0.95	
Location Multiplier		0.85	
Replacement Cost			\$150,276

Summary of Improvements

Description	Story Height	Constr Type	Grade	Year Built	Eff Year	Eff Age	Co Age	nd	Base Rate	LCM	Adj Rate	Size	RCN	Norm Dep	Remain. Value	Abn Obs	PC	Nbhd	Mrkt	Cap 1	Cap 2	Cap 3	Improv Value
1: Residential Dwelling	1	5/6 Maso	C-1	1974	1974	51	A			0.85		2,136 sqft	\$150,276	40%	\$90,170	0%	100%	0.980	1.000	100.00	0.00	0.00	\$88,400